



site. Due to community concern the plant was decommissioned as a result of structured communication between Boral and stakeholders. The group has continued on since the Asphalt plant closure mainly as a forum to discuss dust and noise issues arriving from quarry operations which have the capacity to affect persons residing in the Marino area.

Linwood Community Working Group (Hallett Cove)

A new Community group was established in February 2006, independent to the Marino group. The Hallett Cove group was formed due to community concern among residents in the Hallett Cove area with blasting and its long term impacts and it's this issue which forms the basis of its agenda.

Consultation on all issues that have a direct impact on both working groups have been discussed and minuted at several working group meetings. Copies of minutes and related information are kept updated on the Linwood Quarry website [www.Boral.com.au/Linwood Quarry](http://www.Boral.com.au/Linwood%20Quarry).

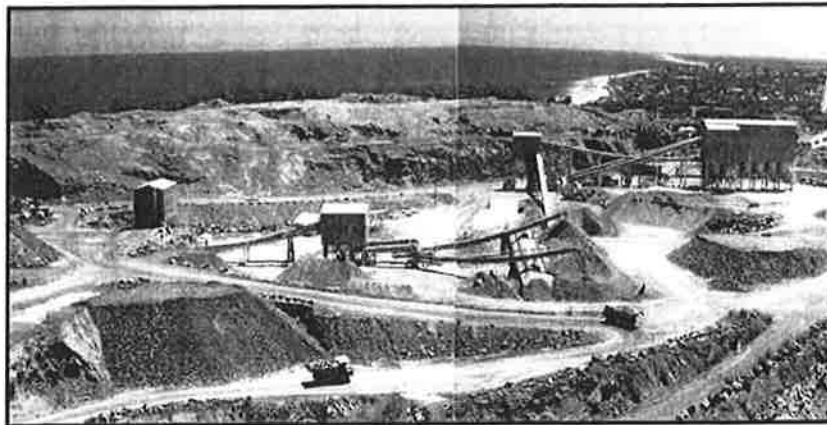
The website was created as a tool to replace the original Linwood Quarry Community Booklet which had been published in 2002., so as to allow updated information on future developments to be communicated. Local schools also find it useful as an education tool.

10. Mine Closure and Rehabilitation Plan

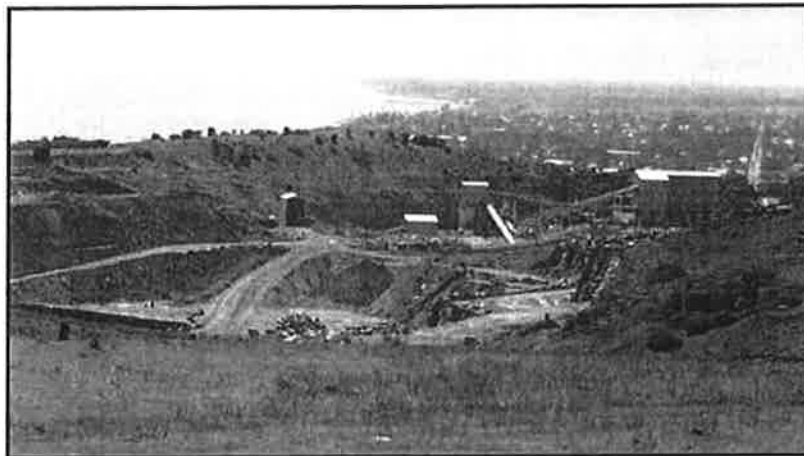
The indigenous vegetation that once existed at the Linwood quarry site was removed by earlier land use activities. As early as 1882 surface mining of the Brighton Limestone deposit present at the site was providing raw materials to the former Brighton Cement Works. Further vegetation clearance was carried out by the landowner for stock grazing purposes.

Several years ago a small stand of remnant Eucalyptus Porosa was discovered within grazing land situated above the north-eastern faces of the quarry. Boral sought the landowners consent to preserve the remnant trees and subsequently a fence was erected around the area to prevent stock grazing and to allow natural re-generation to occur.

Since 1972, Boral (formerly Quarry Industries Limited until 1994) established the planting of significant stands of vegetation around the quarry site including screen planting belts along the western boundary and around the golf course, established in 1979. More recently, Boral has rehabilitated a large area above the north western side of the quarry. The former disturbed area was backfilled, contoured, grassed and planted with small shelterbelt stands of trees and shrubs once native to the area which harmonise with the adjacent landscape (see below).



NW slope before rehabilitation was completed



NW slope after rehabilitation was completed

In 1993 the Hallett Cove residential community began raising their concern at the southerly advancement of the quarry development. In response to their concerns about the visual impact, the company sought community agreement to the establishment of a vegetative buffer that would provide an intermediate visual screen between Perry Barr Road and the advancing quarry. The tree planting project was assisted by the involvement of students from the local Hallett Cove School. Although the trees struggled to establish in the poor soils at the site they now provide a very effective visual screening of the large overburden dump when viewed from a large section of Perry Barr Road. Proposed visualisations of future screening along Perry Barr Road can also be seen in Appendix 11.

Current and Future Rehabilitation

More recent rehabilitation proposals include amelioration of the now large overburden dump located adjacent to the south-western edge of the quarry development. The exposed southern tip face of the dump



was recently hydro-mulched with grass seed to provide a short term visual improvement. A longer term and more permanent improvement will involve the construction of a new screening embankment immediately south of the existing dump. It is proposed that the embankment will be constructed with a gently sloping southern face that will be grassed to harmonise with the adjacent landscape comprising of predominantly grazing land. Upon completion, it is anticipated that this project will provide a significant improvement to the visual amenity of the site as perceived by the local community (refer to appendix 11).

It is proposed that a vegetated tree screen be established alongside the north-eastern boundary of Perry Barr Road in conjunction with the land owner, council and community. This area has been identified as one where views of the quarry development are particularly exposed and otherwise difficult to minimise. Boral has consulted with the local community about this proposed project and is currently concluding necessary approvals before the work can commence. It is further proposed that a second stage will involve additional tree plantings along the upper boundary of Ocean Boulevard adjacent to the south-eastern corner of land adjoining the southern quarry development (Refer to Appendix 11).

Post Mining Land Use

Current reserves provide for a mine life of over 40 years therefore a mine closure plan is difficult to predict. However progressive rehabilitation can begin on the upper western benches, outer perimeter of the overburden dump and upper eastern benches of the old northern pit (main dam).

The final development is likely to resemble a long north-south trending flat-bottomed excavation, the periphery of which has rounded grassed slopes. The quarry benches and floor below may be backfilled and battered utilising on-site overburden, or left unaltered depending upon the end use requirements prevailing at the time. Final quarry haul roads could provide access to the remaining large quarry floor area.

Consultation with the relevant stakeholders, community, local council will be part of the final Mine Closure Plan. To that end a more detailed Mine Closure Plan will be submitted later, as the stakeholder's interests relevant to closure may change over time, as well as legislative and other requirements relevant to rehabilitation and that a mine closure risk assessment and a more detailed Closure Map will also be submitted later, in a Mine Closure Plan.



Objective

The objective is to both operate and eventually leave the site in a physically stable and safe condition. Specifically the final closure objectives would include the following:

- The external visual amenity of the site is acceptable to relevant stakeholders,
- The risks to the health and safety of the public are as low as reasonably practical,
- The site is ecologically stable and sustainable,
- The site is physically stable,
- All equipment and waste materials are removed from the site
- Any materials left onsite are chemically and physically stable

Stakeholders

Land owner, PIRSA, Local Council and surrounding residents.

Control and Management Strategies

Progressive rehabilitation until a mine closure date can be confirmed.

Generally, the intermediate plans are to return terminal quarry faces, screening mounds and overburden dumps, to a physically stable condition that aims at replicating (so far as that can reasonably be achieved) the adjacent landforms.

The following steps are being undertaken as part of the plan to achieve the final objective.

- The more visually prominent upper quarry faces will be progressively rehabilitated upon reaching their terminal location. Final face development will incorporate reduced angle drilling enabling the subsequent covering of blasted slopes with available topsoil and overburden. The newly formed slopes will be surface stabilised using cereal crops and grasses, together with the planting of some local trees and shrubs as appropriate, to assimilate with the adjacent undisturbed landscape.
- Where topographic depressions permit views into the quarry development area, screening mounds may be constructed, or vegetation established to ameliorate such views. These visual screens will be shaped and planted to ensure as much as possible that they assimilate with the adjacent landscape as viewed from beyond the site.
- Overburden dumps will be progressively graded and contoured, grassed and planted to match the adjacent landscape.

Planned rehabilitation will follow the existing program of progressive peripheral restoration work, encompassing the aesthetic improvement of quarry development and the use of self-sustaining vegetation.



Currently there are no plans for the sequential release of any part of the quarry for other land use. Future landscape rehabilitation will be in accordance with the criteria outlined in this Development Program. A separate application for each rehabilitation proposal will be made to the Extractive Areas Rehabilitation Fund.

The potential to not carry out final rehabilitation of the site could lead to an unstable land form or sterilise the land for future use. Potential visual amenity is also a concern.

A post mine and land use and progressive rehabilitation program (to ensure quarry design is aligned with post closure objectives) will be developed in consultation with the community reference group comprising the operator, relevant regulatory authorities' representative residents. This group will also monitor the achievement of the progressive rehabilitation monitoring program.

Measurement Criteria

Adherence to the rehabilitation plans as shown in appendix 11 will confirm that progressive rehabilitation is being undertaken.

Specifically:

- the annual photographs will demonstrate that the visual amenity of the operation is acceptable and will demonstrate the ongoing rehabilitation that will be undertaken,
- the maintenance of the fencing will demonstrate our commitment to minimising health and safety risks to the general public by inadvertent access to the site.

As progress is made in the development of the quarry it may be possible to address some of the other objectives in respect of the final closure plan and where possible this will be done.

At 12 monthly intervals photos will be taken from the nominated Photo Points (Appendix 13) for comparison purposes.



Appendix 1

Linwood Quarry Private Mine and Tenement Boundaries and Land Titles





Title Register Search
LANDS TITLES OFFICE, ADELAIDE
For a Certificate of Title issued pursuant to the Real Property Act 1886

REGISTER SEARCH OF CERTIFICATE OF TITLE * VOLUME 5541 FOLIO 695 *

COST : \$16.10 (GST exempt)	PARENT TITLE : CT 4266/617
REGION : EMAIL	AUTHORITY : CONVERTED TITLE
AGENT : VKES BOX NO : 000	DATE OF ISSUE : 03/06/1998
SEARCHED ON : 02/03/2007 AT : 09:14:16	EDITION : 1

REGISTERED PROPRIETOR IN THE SIMPLE

QUARRY INDUSTRIES LTD. OF 333 MARION ROAD ELYMPTON SA 5038

DESCRIPTION OF LAND

ALLOTMENT 61 FILED PLAN 148799
IN THE AREA NAMED SEACLIFF PARK
HUNDRED OF NOARLUNGA

EASEMENTS

TOGETHER WITH A FREE AND UNRESTRICTED RIGHT OF WAY OVER THE LAND MARKED A

SCHEDULE OF ENDORSEMENTS

NIL

NOTATIONS

DOCUMENTS AFFECTING THIS TITLE

NIL

REGISTRAR-GENERAL'S NOTES

CONTROLLED ACCESS ROAD VIDE PLAN 17
CONVERTED TITLE-WITH NEXT DEALING LODGE CT 4266/617

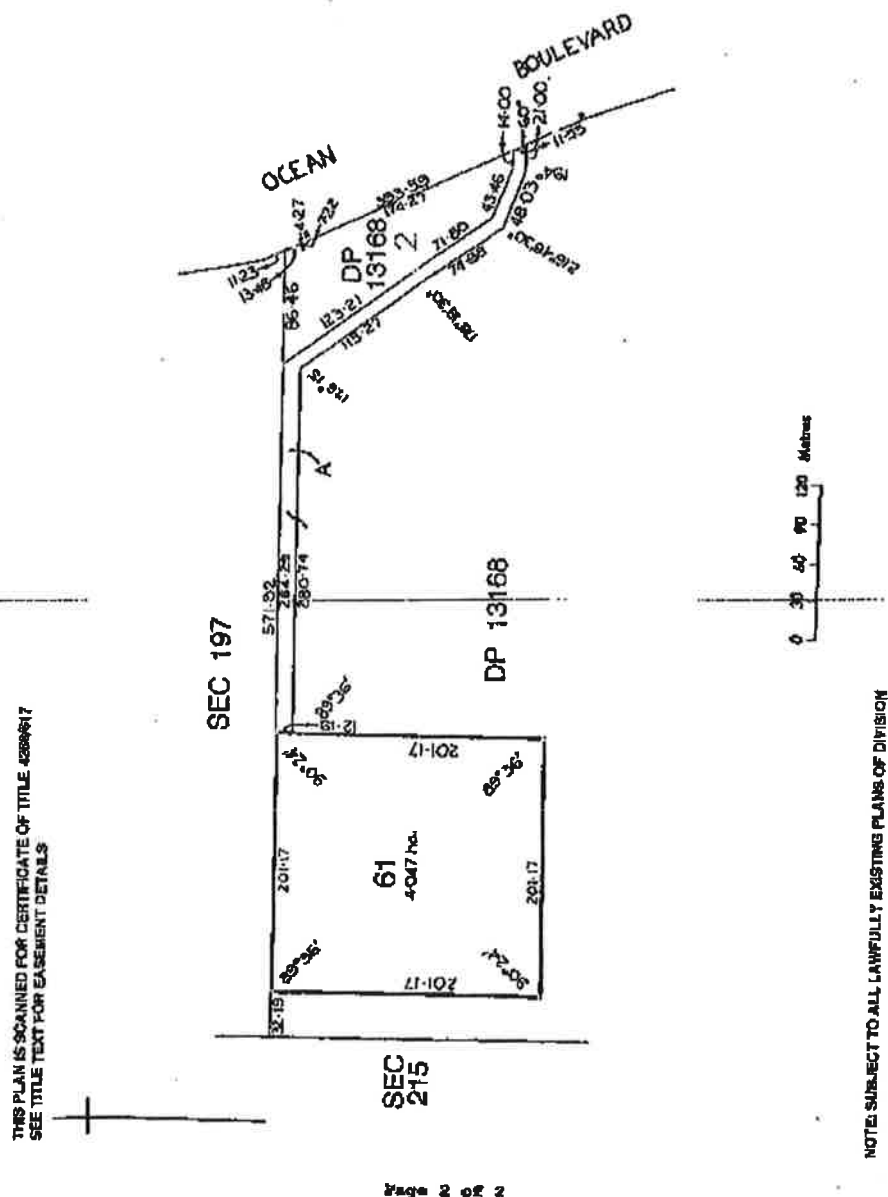
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Page 1 of 2

The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



LANDS TITLES OFFICE ADELAIDE SOUTH AUSTRALIA
DIAGRAM FOR CERTIFICATE OF TITLE VOLUME 5541 FOLIO 895
SEARCH DATE: 02/03/2007 TIME: 08:14:16





Construction
Materials

Linwood Quarry

Land Services Group 18-05-2001 11:30 PAGE 1/2 RightFAX



Title Register Search

LANDS TITLES OFFICE, ADELAIDE
Issued pursuant to the Real Property Act 1886

REGISTER SEARCH OF CERTIFICATE OF TITLE * VOLUME 5735 FOLIO 113 *

COST : \$13.00 (GST exempt)	PARENT TITLE : CT 4007/703
REGION : FAX 83264882	AUTHORITY : CONVERTED TITLE
AGENT : JESO BOX NO : 275	DATE OF ISSUE : 17/02/2000
SEARCHED ON : 18/05/2001 AT : 11:35:10	EDITION : 1

REGISTERED PROPRIETOR IN FEE SIMPLE

QUARRY INDUSTRIES LTD. OF 333 MARION ROAD PLYMPTON SA 5038

DESCRIPTION OF LAND

ALLOTMENT 57 FILED PLAN 148795
IN THE AREA NAMED MARINO
HUNDRED OF NOARLUNGA

EASEMENTS

NIL

SCHEDULE OF ENDORSEMENTS

NIL

NOTATIONS

DOCUMENTS AFFECTING THIS TITLE

NIL

REGISTRAR-GENERAL'S NOTES

CONVERTED TITLE-WITH NEXT DEALING LODGE CT 4007/703

Page 1 of 2

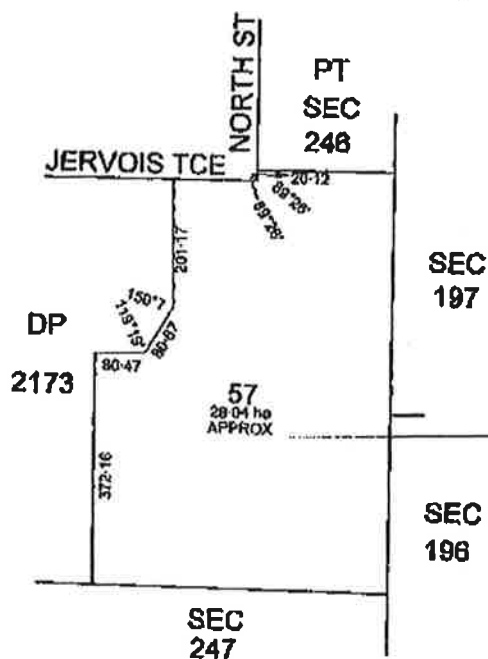
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Warning: The information appearing under notations has not been formally recorded in the Register Book and the provisions of the Real Property Act 1886 do not extend thereto.



LANDS TITLES OFFICE ADELAIDE SOUTH AUSTRALIA
DIAGRAM FOR CERTIFICATE OF TITLE VOLUME 5735 FOLIO 11.3
SEARCH DATE : 02/03/2007 TIME: 08:14:42

THIS PLAN IS SCANNED FOR CERTIFICATE OF TITLE 4007703



0 75 150 225 300 METRES

NOTE: SUBJECT TO ALL LAWFULLY EXISTING PLANS OF DIVISION



Construction
Materials

Linwood Quarry



Title Register Search

LANDS TITLES OFFICE, ADELAIDE
For a Certificate of Title issued pursuant to the Real Property Act 1886

REGISTER SEARCH OF CERTIFICATE OF TITLE * VOLUME 5242 FOLIO 17M *

COST : \$16.10 (GST exempt)
REGION : EMAIL
AGENT : VKES BOX NO : 000
SEARCHED ON : 02/03/2007 AT : 08:16:08
PARENT TITLE : CT 4075/62
AUTHORITY : TG 7778624
DATE OF ISSUE : 18/01/1993
EDITION : 1

REGISTERED PROPRIETOR IN FEE SIMPLE

QUARRY INDUSTRIES LTD. OF 333 MARION ROAD FLYMPTON SA 5038

DESCRIPTION OF LAND

ALLIEMENT 5 FILED PLAN 128978
IN THE AREAS NAMED MARINO AND SEACLIFF PARK
HUNDRED OF NOARLUNGA

EASEMENTS

SUBJECT TO THE EASEMENT OVER THE LAND MARKED B TO THE ELECTRICITY TRUST OF
SOUTH AUSTRALIA (TS 7778624)

SUBJECT TO THE EASEMENT OVER THE LAND MARKED A TO THE COUNCIL FOR THE AREA
(T 3917197)

SCHEDULE OF ENDORSEMENTS

4046814 LEASE TO THE CORPORATION OF THE CITY OF MARION COMMENCING ON
16.8.1976 AND EXPIRING ON 15.8.2026 OF PORTION TOGETHER WITH
CERTAIN RIGHTS

NOTATIONS

DOCUMENTS AFFECTING THIS TITLE

NIL

REGISTRAR-GENERAL'S NOTES

PLAN FOR LEASE PURPOSES GP 2324/76

END OF TEXT.

Page 1 of 2

The Registrar-General certifies that this Title Register Search displays the records
maintained in the Register Book and other notations at the time of searching.

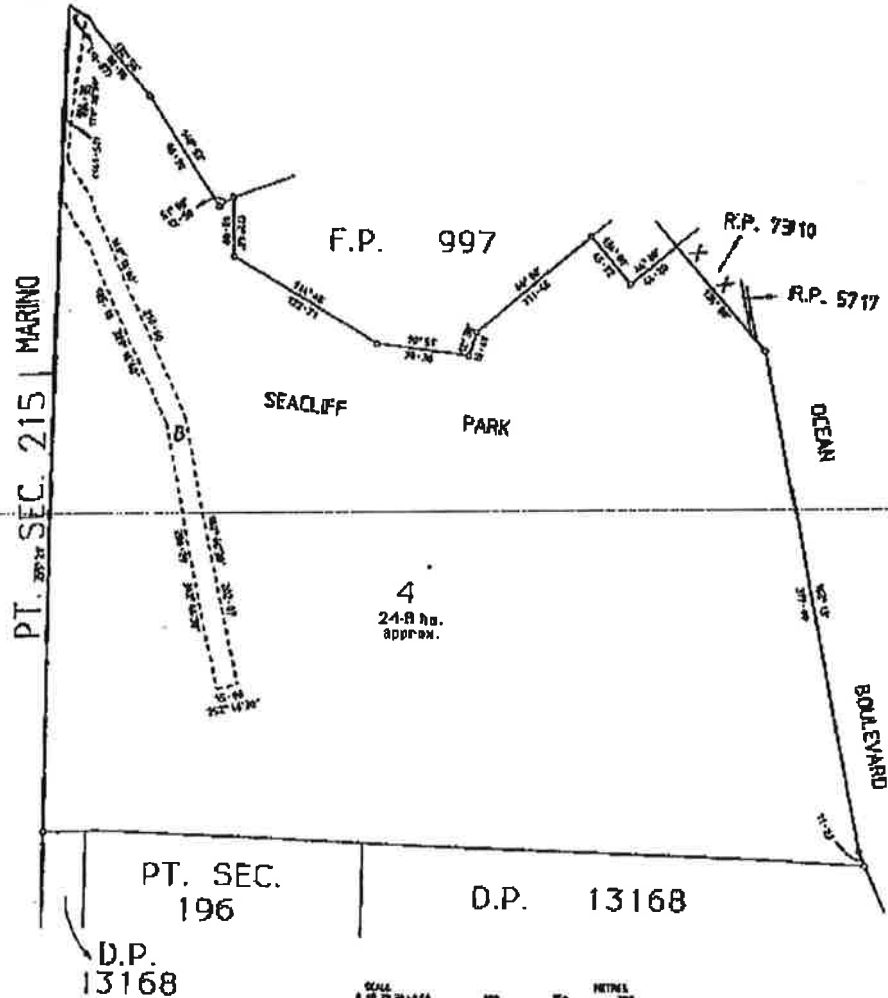




LANDS TITLES OFFICE ADELAIDE SOUTH AUSTRALIA
DIAGRAM FOR CERTIFICATE OF TITLE VOLUME 5242 FOLIO 170
SEARCH DATE : 02/03/2007 TIME: 08:15:04

This plan is scanned for Certificate of Title 3252/81
See title text for easement details.

F.P.
128978





Construction
Materials

Linwood Quarry



Title Register Search LANDS TITLES OFFICE, ADELAIDE For a Certificate of Title issued pursuant to the Real Property Act 1886

REGISTER SEARCH OF CERTIFICATE OF TITLE * VOLUME 5242 FOLIO 170 *

COST : \$16.10 (GST exempt)	PARENT TITLE : CT 3252/81
REGION : EMAIL	AUTHORITY : TG 7778624
AGENT : VRES BOX NO : 000	DATE OF ISSUE : 18/01/1995
SEARCHED ON : 02/03/2007 AT : 08:15:04	EDITION : 1

REGISTERED PROPRIETOR IN THE SIMPLE

QUARRY INDUSTRIES LTD. OF 333 MARION ROAD FLYMPTON SA 5038

DESCRIPTION OF LAND

ALLOTMENT 4 FILED PLAN 128977
IN THE AREA NAMED SEACLIFF PARK
HUNDRED OF NOARLUNGA

EASEMENTS

SUBJECT TO THE EASEMENT OVER THE LAND MARKED B TO THE ELECTRICITY TRUST OF
SOUTH AUSTRALIA (TG 7778624)

SCHEDULE OF ENDORSEMENTS

4046814 LEASE TO THE CORPORATION OF THE CITY OF MARION COMMENCING ON
16.8.1976 AND EXPIRING ON 15.8.2026 OF PORTION TOGETHER WITH
CERTAIN RIGHTS

NOTATIONS

DOCUMENTS AFFECTING THIS TITLE

NIL

REGISTRAR-GENERAL'S NOTES

CONTROLLED ACCESS ROAD VIDE PLAN 17
PLAN FOR LEASE PURPOSES GP 2324/76
PLAN FOR LEASE PURPOSES GP 515/96

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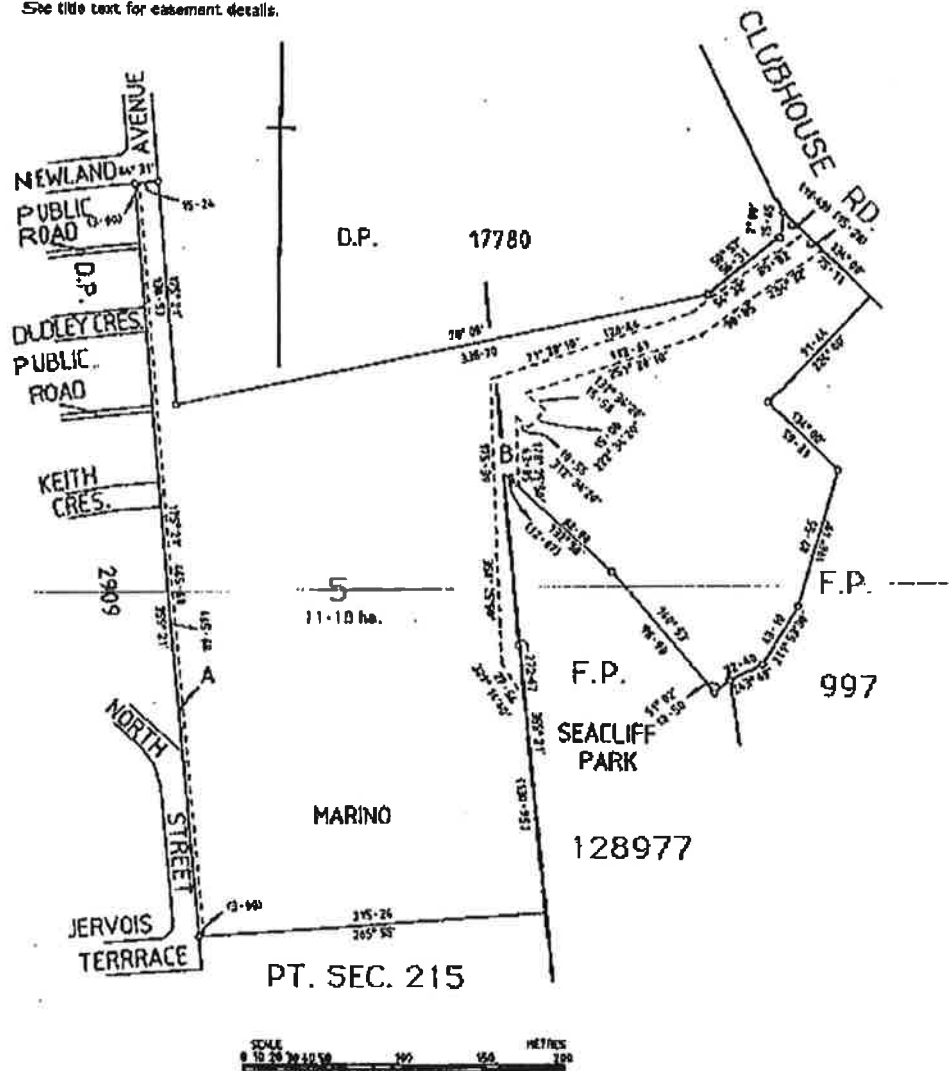
Page 1 of 2

The Registrar-General certifies that this Title Register Search displays the records
maintained in the Register Book and other notations at the time of searching.



LANDS TITLES OFFICE ADELAIDE SOUTH AUSTRALIA
DIAGRAM FOR CERTIFICATE OF TITLE VOLUME 5242 FOLIO 171
SEARCH DATE: 02/03/2007 TIME: 08:18:08

This plan is scanned for Certificate of Title 4075/62
See title text for easement details.



Note : Subject to all lawfully existing plans of division

Page 2 of 2



Construction
Materials

Linwood Quarry



Title Register Search LANDS TITLES OFFICE, ADELAIDE For a Certificate of Title issued pursuant to the Real Property Act 1886

REGISTER SEARCH OF CERTIFICATE OF TITLE * VOLUME 5745 FOLIO 302 *

COST : \$16.10 (GST exempt)
REGION : EMAIL
AGENT : VKES BOX NO : 000
SEARCHED ON : 02/03/2007 AT : 08:13:49
PARENT TITLE : CT 4266/616
AUTHORITY : CONVERTED TITLE
DATE OF ISSUE : 20/03/2000
EDITION : 2

REGISTERED PROPRIETOR IN FEE SIMPLE

LONGFIELD PTY. LTD. OF 48 GREENHILL ROAD WATVILLE SA 5034

DESCRIPTION OF LAND

ALLOTMENTS 1 AND 2 DEPOSITED PLAN 13168
IN THE AREA NAMED SEACLIFF PARK
HUNDRED OF NOARLUNGA

EASEMENTS

SUBJECT TO A FREE AND UNRESTRICTED RIGHT OF WAY OVER THE LAND MARKED A AND C

TOGETHER WITH A FREE AND UNRESTRICTED RIGHT OF WAY OVER THE LAND MARKED B

SCHEDULE OF ENDORSEMENTS

10530149 CAVEAT BY BORAL RESOURCES (SA) LTD. OVER PORTION

NOTATIONS

DOCUMENTS AFFECTING THIS TITLE

NIL

REGISTRAR-GENERAL'S NOTES

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DOC'N REQUIRED BEFORE SEP TITLES CAN ISSUE

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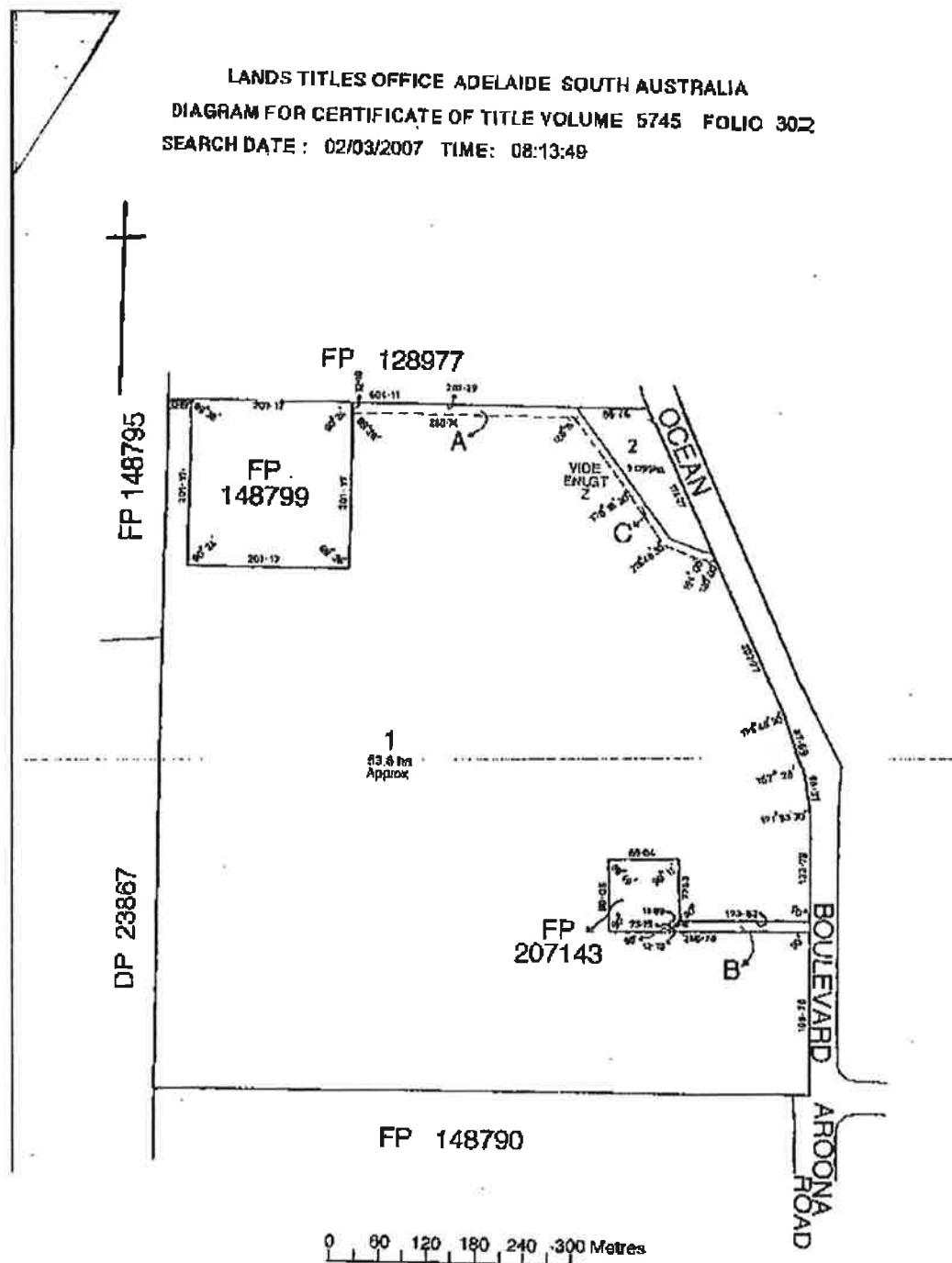
Page 1 of 3

The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



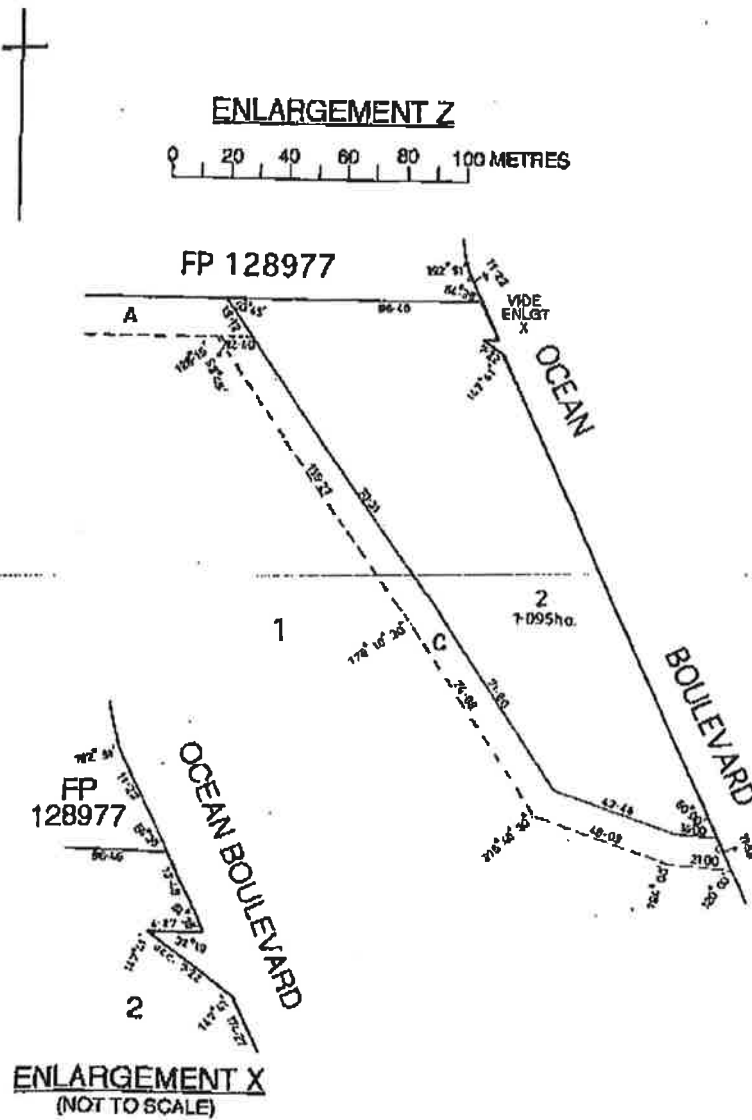


LANDS TITLES OFFICE ADELAIDE SOUTH AUSTRALIA
DIAGRAM FOR CERTIFICATE OF TITLE VOLUME 5745 FOLIO 302
SEARCH DATE : 02/03/2007 TIME: 08:13:49



Page 2 of 3

LANDS TITLES OFFICE ADELAIDE SOUTH AUSTRALIA
DIAGRAM FOR CERTIFICATE OF TITLE VOLUME 5745 FOLIO 302
SEARCH DATE: 02/03/2007 TIME: 08:13:49





Title Register Search

LANDS TITLES OFFICE, ADELAIDE

For a Certificate of Title issued pursuant to the Real Property Act 1886

REGISTER SEARCH OF CERTIFICATE OF TITLE * VOLUME 5782 FOLIO 237 *

COST	: \$16.10 (GST exempt)	PARENT TITLE	: CT 4371/602
REGION	: EMAIL	AUTHORITY	: CONVERTED TITLE
AGENT	: VRES BOX NO : 000	DATE OF ISSUE	: 14/06/2000
SEARCHED ON	: 02/03/2007 AT : 08:13:15	EDITION	: 2

REGISTERED PROPRIETOR IN FEE SIMPLE

LONGFIELD PTY. LTD. OF 48 GREENHILL ROAD MAYVILLE SA 5034

DESCRIPTION OF LAND

ALLOTMENT 52 FILED PLAN 148790
IN THE AREA NAMED HALLETT COVE
HUNDRED OF NOARLUNGA

EASEMENTS

SUBJECT TO THE EASEMENT OVER THE LAND MARKED A TO THE MINISTER FOR
INFRASTRUCTURE (T 4354943)

SCHEDULE OF ENDORSEMENTS

8973868 MORTGAGE TO NATIONAL AUSTRALIA BANK LTD.

10530149 CAVEAT BY BORAL RESOURCES (SA) LTD. OVER PORTION

NOTATIONS

DOCUMENTS AFFECTING THIS TITLE

NIL

REGISTRAR-GENERAL'S NOTES

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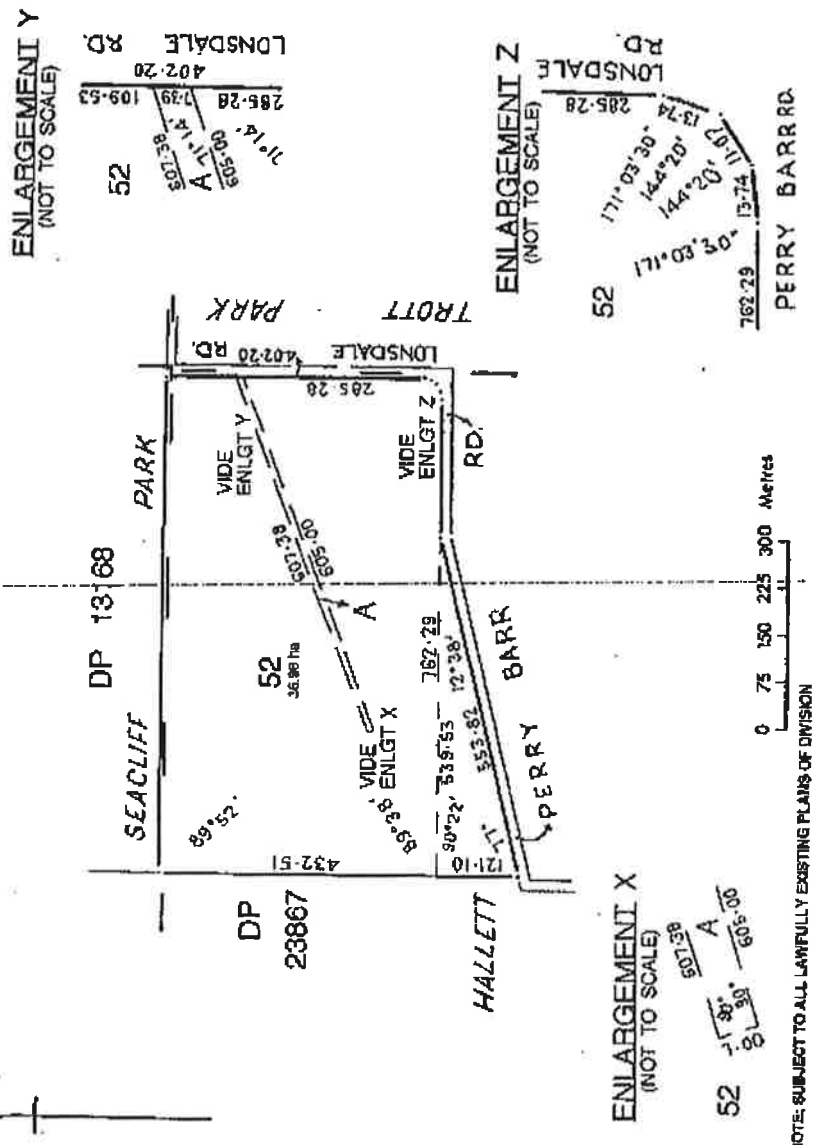
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Page 1 of 2

The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



LANDS TITLES OFFICE ADELAIDE SOUTH AUSTRALIA
DIAGRAM FOR CERTIFICATE OF TITLE VOLUME 5782 FOLIO 237
SEARCH DATE: 02/03/2007 TIME: 08:13:16



NOTE: SUBJECT TO ALL LAWFULLY EXISTING PLANS OF DIVISION



Construction
Materials

Linwood Quarry



Title Register Search

LANDS TITLES OFFICE, ADELAIDE

For a Certificate of Title issued pursuant to the Real Property Act 1886

REGISTER SEARCH OF CERTIFICATE OF TITLE * VOLUME 5976 FOLIO 239 *

COST : \$16.10 (GST exempt)
REGION : EMAIL
AGENT : VKES BOX NO : 000
SEARCHED ON : 02/03/2007 AT : 08:12:04
PARENT TITLE : CT 5544/240
AUTHORITY : RTU 10530150
DATE OF ISSUE : 27/11/2006
EDITION : 1

REGISTERED PROPRIETOR IN FEE SIMPLE

LONGFIELD PTY. LTD. OF 48 GREENHILL ROAD WATVILLE SA 5034

DESCRIPTION OF LAND

ALLOTMENT 50 DEPOSITED PLAN 71045
IN THE AREAS NAMED HALLETT COVE AND MARINO
HUNDRED OF NOARLUNGA

EASEMENTS

SUBJECT TO THE EASEMENT OVER THE LAND MARKED A TO THE MINISTER FOR
INFRASTRUCTURE (AQ 6614189)

SUBJECT TO THE EASEMENT OVER THE LAND MARKED C TO THE COUNCIL FOR THE AREA
(TG 8436931)

SCHEDULE OF ENDORSEMENTS

10530149 CAVEAT BY BORAL RESOURCES (SA) LTD. OVER PORTION

NOTATIONS

DOCUMENTS AFFECTING THIS TITLE

NIL

REGISTRAR-GENERAL'S NOTES

NIL

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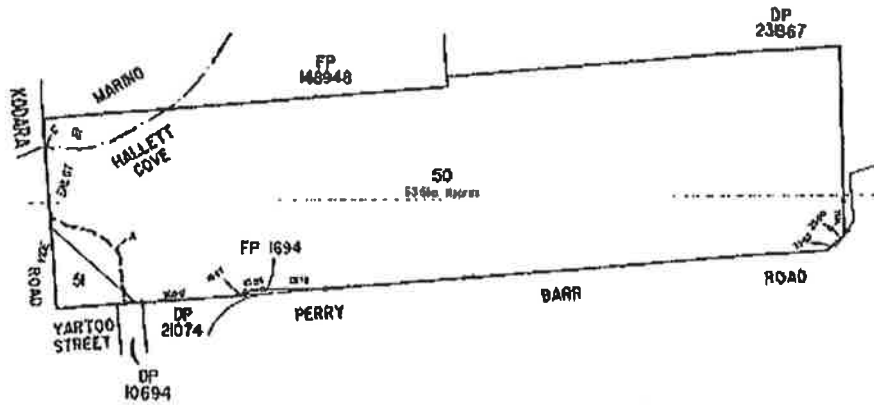
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The Registrar-General certifies that this Title Register Search displays the records
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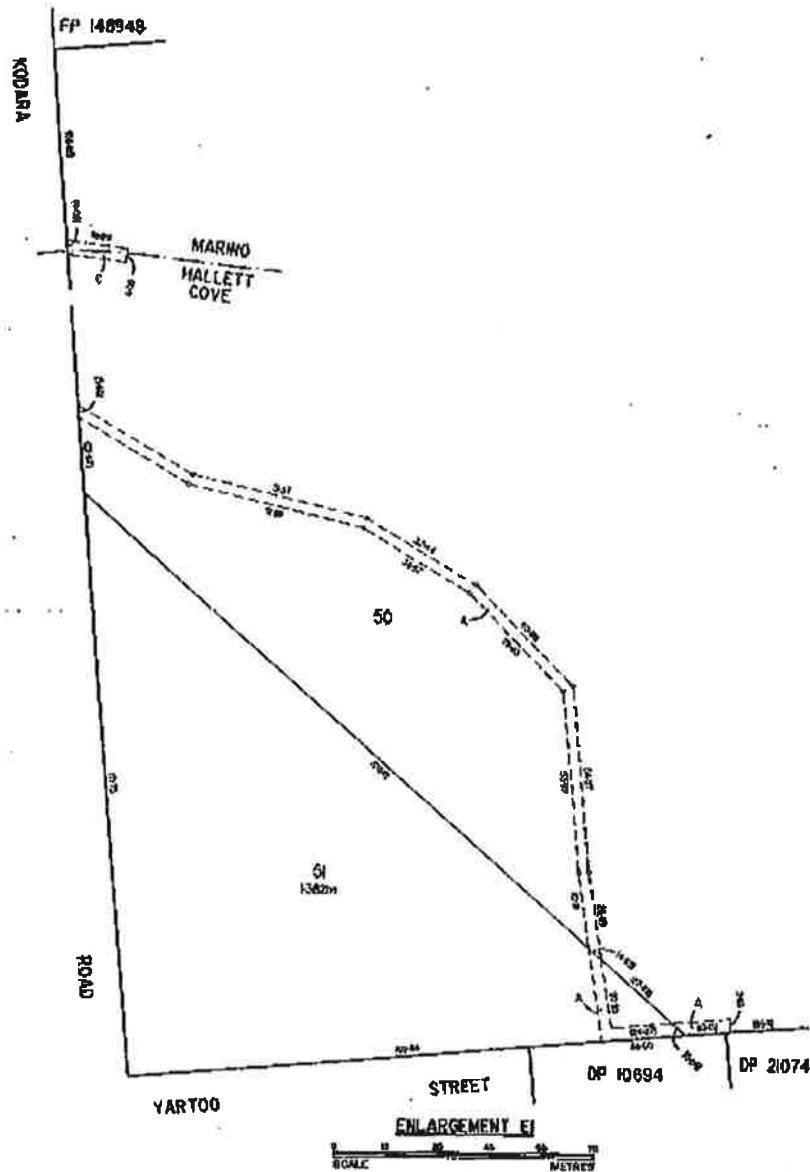
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DIAGRAM FOR CERTIFICATE OF TITLE VOLUME 5976 FOLIO 238
SEARCH DATE : 02/03/2007 TIME: 08:12:04



Scale 0 50 100 150 200 METRES



LANDS TITLES OFFICE ADELAIDE SOUTH AUSTRALIA
DIAGRAM FOR CERTIFICATE OF TITLE VOLUME 5976 FOLIO 239
SEARCH DATE: 02/03/2007 TIME: 08:12:04





Construction
Materials

Linwood Quarry



Title Register Search LANDS TITLES OFFICE, ADELAIDE For a Certificate of Title issued pursuant to the Real Property Act 1886

REGISTER SEARCH OF CERTIFICATE OF TITLE * VOLUME 5459 FOLIO 774 *

COST : \$16.10 (GST exempt)	PARENT TITLE : CT 4371/468
REGION : EMAIL	AUTHORITY : CONVERTED TITLE
AGENT : VKES BOX NO : 000	DATE OF ISSUE : 20/10/1997
SEARCHED ON : 02/03/2007 AT : 08:12:26	EDITION : 2

REGISTERED PROPRIETOR IN FEE SIMPLE

LONGFIELD PTY. LTD. OF 48 GREENHILL ROAD WAYVILLE SA 5034

DESCRIPTION OF LAND

ALLOTMENT 1 FILED PLAN 148948
IN THE AREAS NAMED HALLETT COVE AND MARINO
HUNDRED OF NOARLUNGA

EASEMENTS

NIL

SCHEDULE OF ENDORSEMENTS

8973868 MORTGAGE TO NATIONAL AUSTRALIA BANK LTD.

NOTATIONS

DOCUMENTS AFFECTING THIS TITLE

NIL

REGISTRAR-GENERAL'S NOTES

AMENDMENT TO DIAGRAM VIDE DRT 80/05

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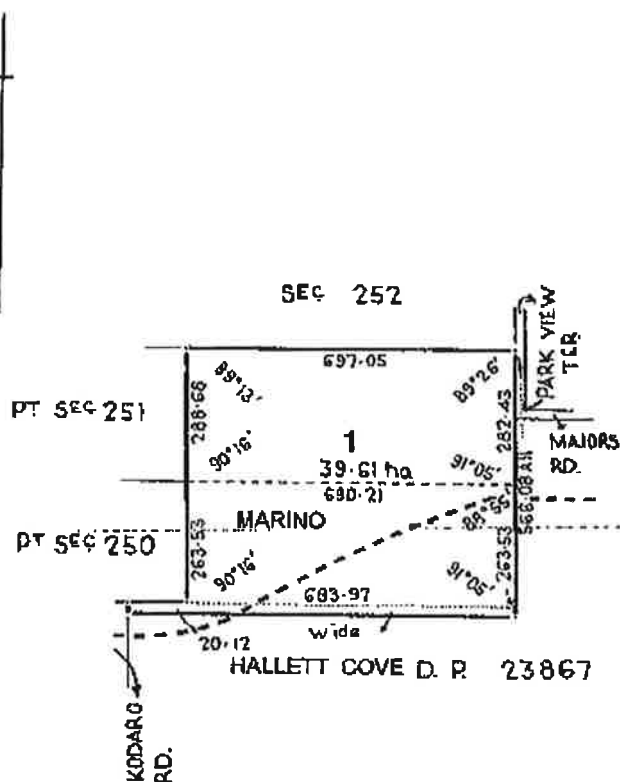
Page 1 of 2

The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



LANDS TITLES OFFICE ADELAIDE SOUTH AUSTRALIA
DIAGRAM FOR CERTIFICATE OF TITLE VOLUME 5459 FOLIO 774
SEARCH DATE : 02/03/2007 TIME: 08:12:26

THIS PLAN IS SCANNED FOR CERTIFICATE OF TITLE 4371/408



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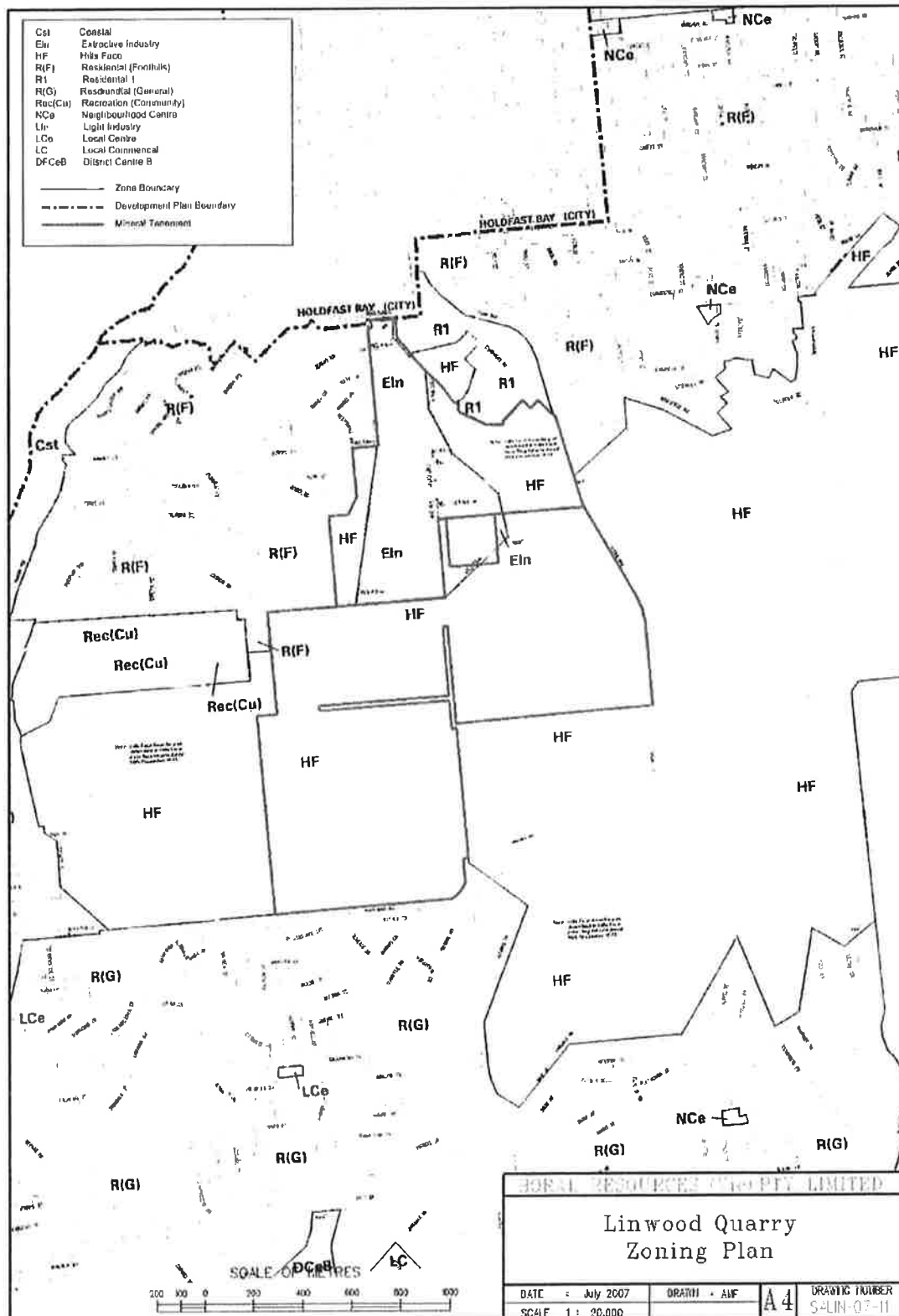
NOTE: SUBJECT TO ALL LAWFULLY EXISTING PLANS OF DIVISION

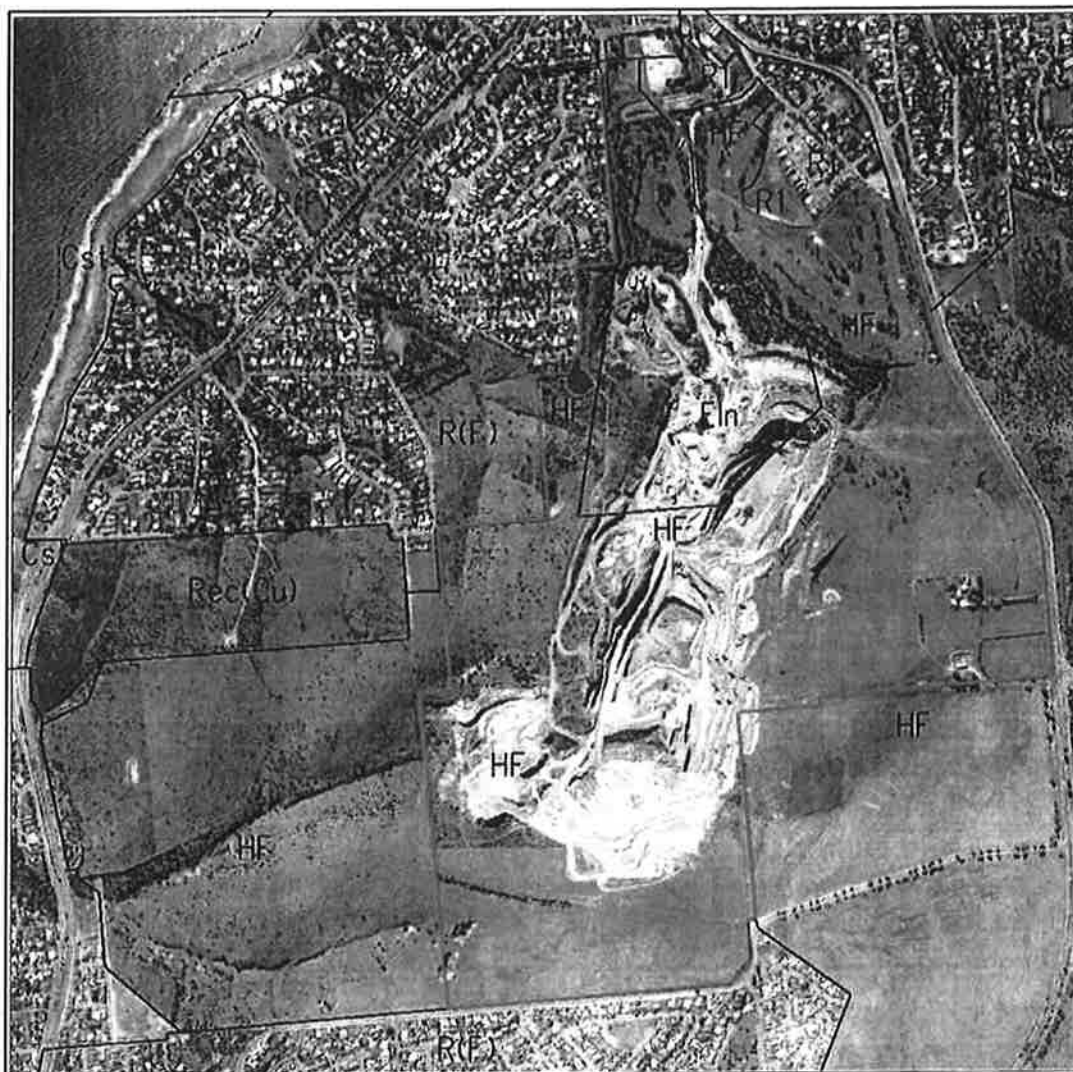
Page 2 of 2



Appendix 2

Council Zoning Detail

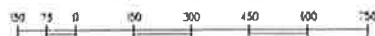




Csl Coastal
Eln Extractive Industry
HF Hills Face
R(F) Residential (Foothills)
R1 Residential 1
R(G) Residential (General)
Rec(Cu) Recreation (Community)
NCe Neighbourhood Centre
Lin Light Industry
LCe Local Centre
LC Local Commercial
DFCeB District Centre B

— Zone Boundary
- - - Development Plan Boundary
— Mineral Tenement

SCALE OF METRES

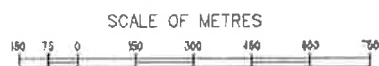
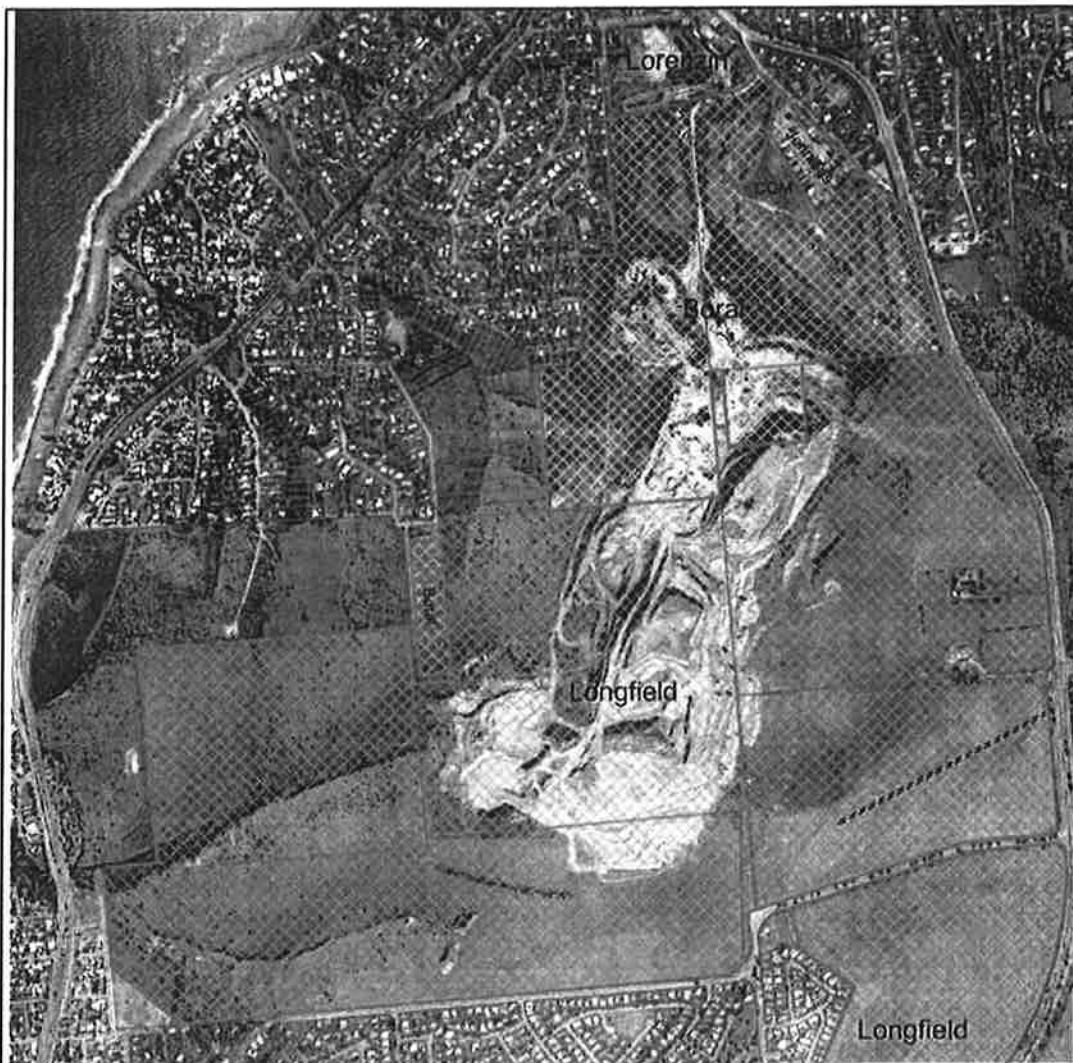


BORAL RESOURCES LIMITED			
Linwood Quarry Zoning Plan			
DATE : July 2007	DRAWN : JMF	A4	DRAWING NUMBER
SCALE 1 : 15,000	Perfected June 2007		SALIN-07-11



Appendix 3

Ownership Detail



BORAL RESOURCES (AUST) PTY LIMITED			
LINWOOD QUARRY LAND OWNERSHIP BOUNDARIES			
DATE : July 2007	DRAWN : JC	A4	DRAWING NUMBER SALIN-07-12
SCALE 1 : 15000	Updated AWF		



Appendix 4

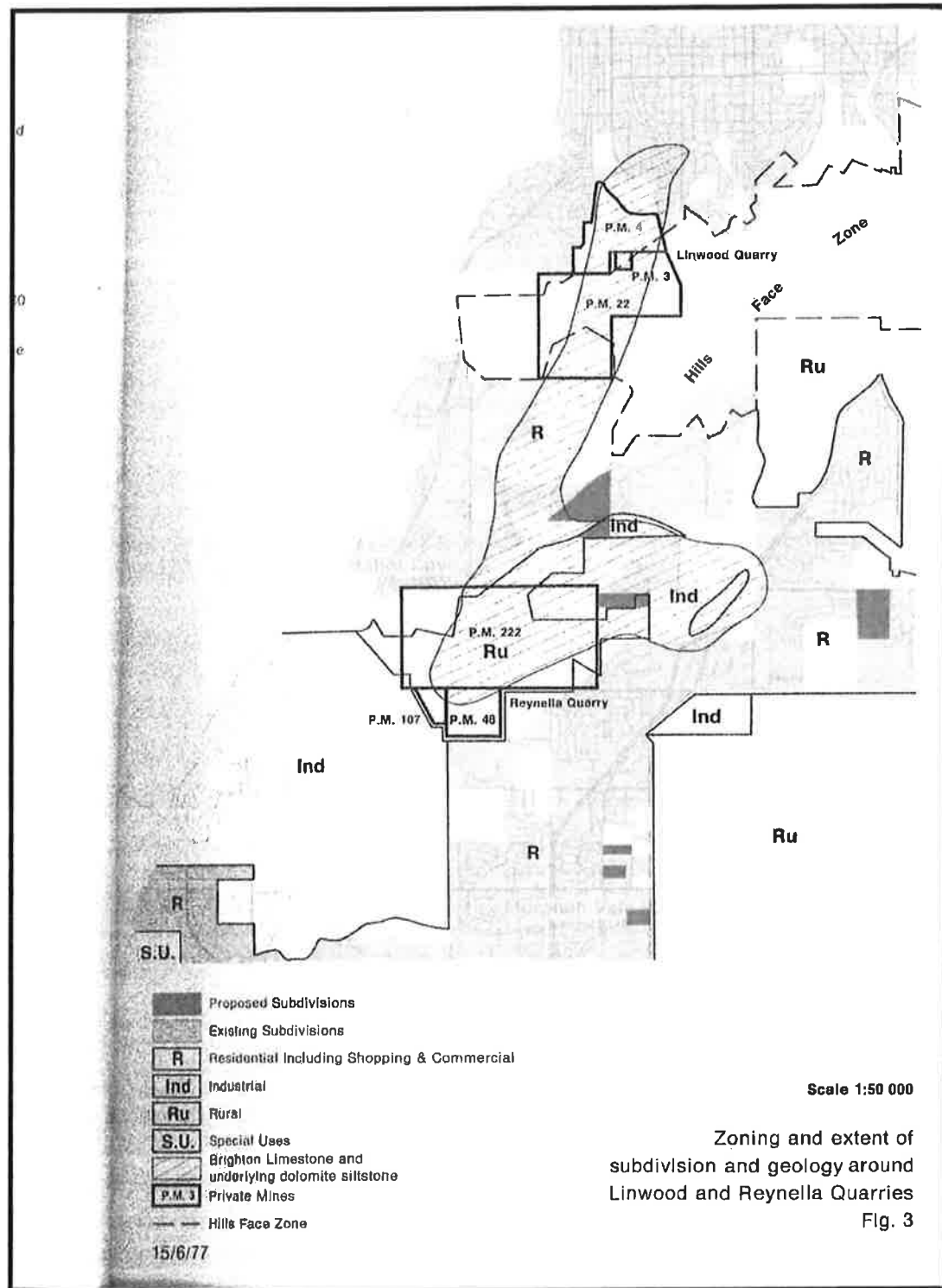
Existing Infrastructure Detail





Appendix 5

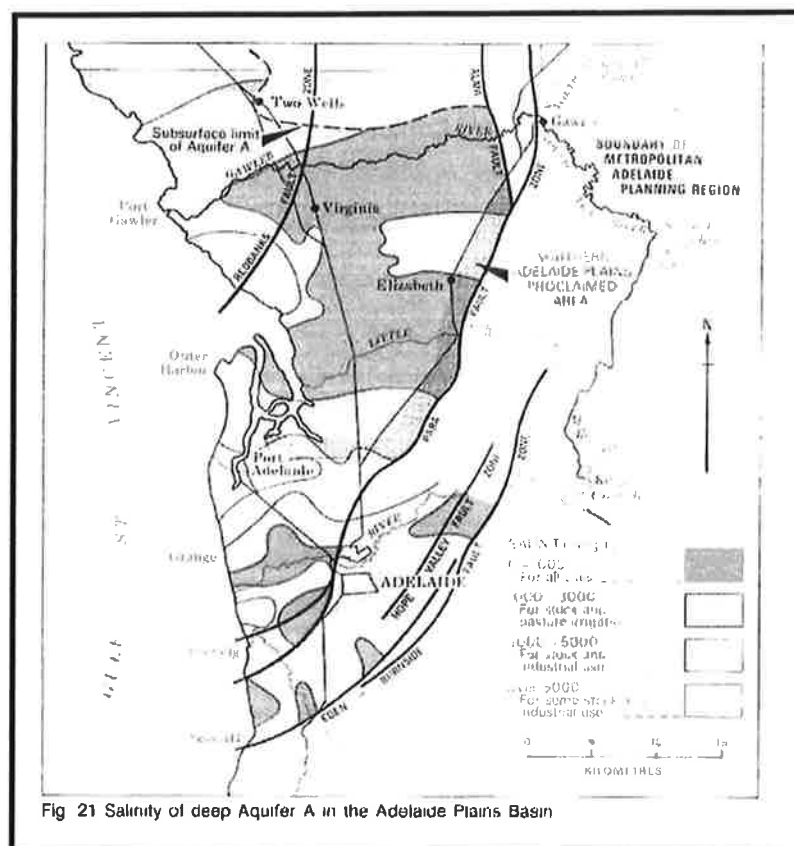
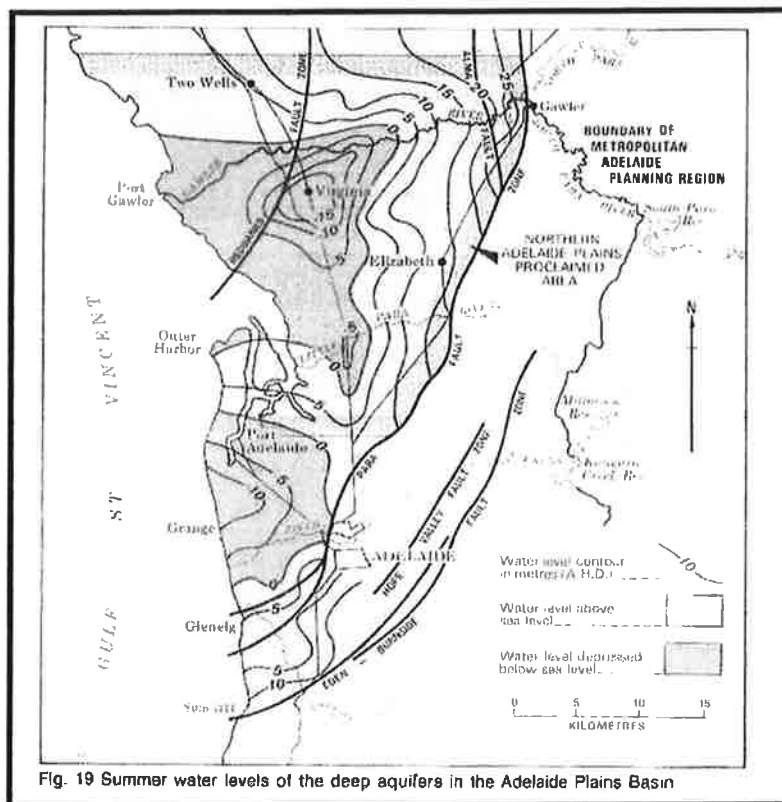
Local Area Geology





Appendix 6

Groundwater Detail





Appendix 7

Water Recycling System Detail



Water Recycling Network

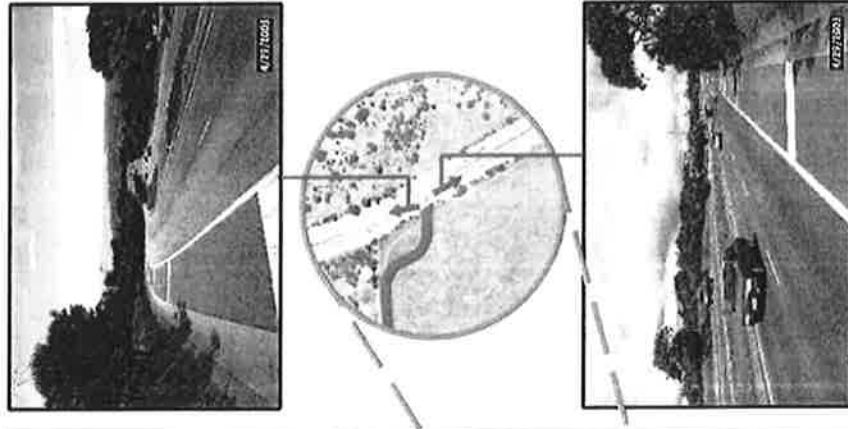


Appendix 8

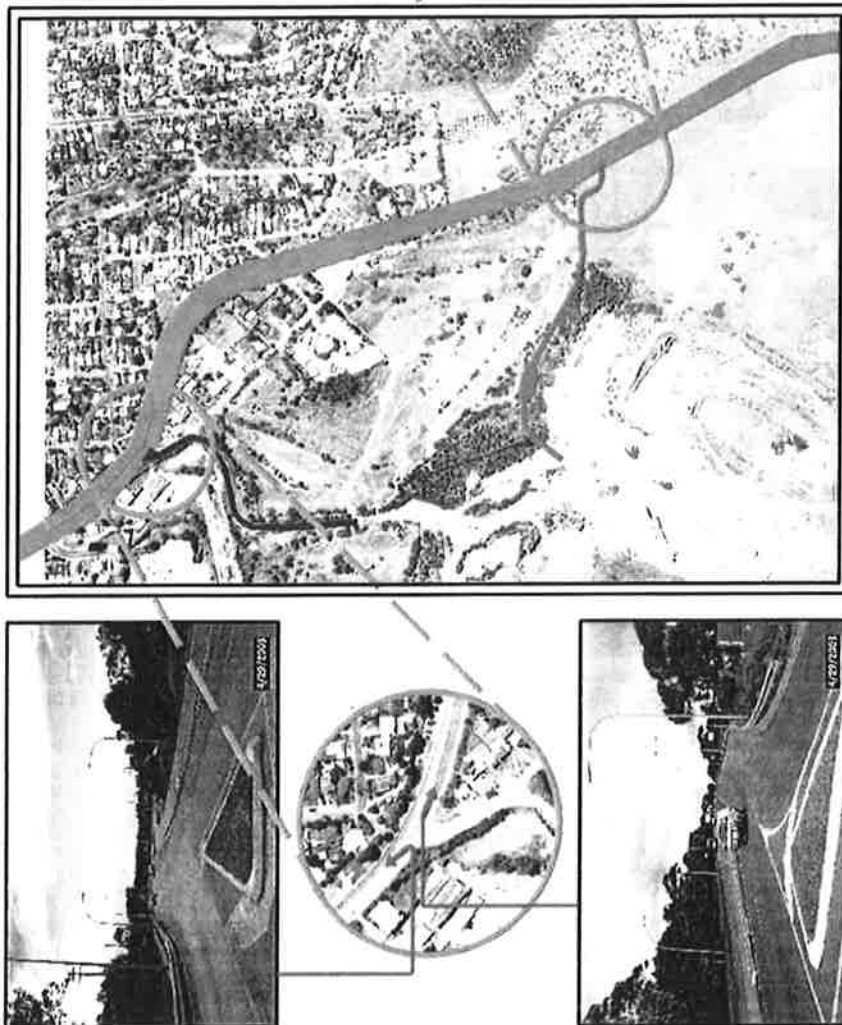
Quarry Access



Possible Future Access
onto Lonsdale Hwy



Current Access from
Clubhouse Rd



Current and Future Possible Access Road



Appendix 9

Site EPA License



**Construction
Materials**

Linwood Quarry

RECEIVED 8-11-06

**ENVIRONMENT PROTECTION AUTHORITY
SOUTH AUSTRALIA**

Environmental Authorisation under Part 5 of the Environment Protection Act 1993

LICENCE

EPA 1187

Boral Resources (SA) Limited

1 Station Place
HINDMARSH SA 5007

Location

Cribhouse Road, SEACLIFF PARK 5049 SA

Licensed Activities

The Licensee(s)

Boral Resources (SA) Limited

is/are authorised to undertake the following activities of environmental significance under Schedule 1 Part A of the Environment Protection Act 1993 (the Act), subject to the conditions of licence set out in the attached pages.

- | | |
|------|--------------------------|
| 2(5) | Concrete Batching Works |
| 3(3) | Waste or Recycling depot |
| 4(1) | Extractive Industry |

Term of Licence

Commence Date 01 NOV-2006

Expiry Date 31-OCT-2011

Delegate

Environment Protection Authority

This licence is not valid unless signed

C.C. Gunning ✓
Cane Plant ✓
Tony Ward ✓

30 October 2008

Conditions of licence to follow

Licence Coordinator: Imogen Edmunds (08) 8204 9946

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EPA Licence 1187

Definitions

"the Act" means the Environment Protection Act 1993.

"the Authority" means the Environment Protection Authority established under Division 1 of Part 3 of the Act.

"the Premises" means, at the time of issue of this authorisation, the whole of the land comprised in Titles Register - Certificate of Title, Crown Lease and Crown Record:

List of Titles

CT 5242/170
CT 5242/171
CT 5409/383
CT 5541/695
CT 5735/113
CT 5745/302
CT 5782/237

"Authorisation Fee Payment Date" means the anniversary of the grant or renewal of this licence.

"Liquid Waste" means waste classified in accordance with the assessment process set out in EPA Guideline entitled "Liquid waste classification test" re-issued March 2003.

Acronyms

"EIP" means Environment Improvement Programme.



EPA Licence 1187

Explanatory Notes

(NB. - Explanatory Notes do not constitute a part of this Authorisation)

1. This licence does not permit any activity in breach of any other approval by any other authority. For example, this licence does not permit any activity on the Premises which is not authorised under the Development Act 1993. It is the responsibility of the Licensee to ensure that any action or activity referred to in this licence is permitted by, and is carried out in compliance with, statutory requirements.
2. This licence is subject to the Act.
3. Conditions of this licence can be varied by the Authority in accordance with section 45 of the Act.
4. This licence can be suspended, cancelled or surrendered during the term of the licence in accordance with sections 55 and 56 of the Act.
5. The Licensee must report to the Authority all incidents causing or threatening serious or material environmental harm, upon becoming aware of the incident, in accordance with section 83 of the Act.



EPA Licence 1187

CONDITIONS OF LICENCE

The Licensee is authorized to conduct the prescribed activities as described in this licence on the Premises nominated, subject to the following conditions:

Compliance Data

1. (180-1) The Licensee must ensure that waste produced by truck cleaning operations is treated through an effective and properly maintained separator to remove oil and grease.
2. (180-14) The Licensee must ensure that all wastewater and runoff from the workings (including stockpile areas and roadways) is retained on the Premises.
3. (180-15) The Licensee must ensure that all Liquid Waste (oil sludge, etc.) and solid wastes generated at the quarry are:
 1. disposed of by the Licensee at a waste depot licensed to receive that waste; or
 2. collected by a person licensed for the activity of transporting waste by the Authority.
4. (325-33) The licensee must ensure that the overall noise level from all sources at the Premises as adjusted in accordance with the Environment Protection (Industrial Noise) Policy 1994 does not exceed at any residential boundary the following maximum noise levels:

50 decibel A-weighted noise between the hours of 10.00 pm and 7.00 am; and

58 decibel A-weighted noise between the hours of 7.00 am and 10.00 pm.
5. (67-136) **STORAGE AND PROCESSING OF WASTE CONCRETE AND ASPHALT**
 1. The Licensee must only receive waste concrete and waste asphalt at the depot containing no more than 20% by volume of extraneous material (such as wood, electrical wire or plastic), but not including material that is regarded by the Authority as being a normal component of the waste (such as reinforcing wire, clean soil, gravel or sand).

Licence Coordinator: Imogen Edmunds (05) 5234 9846

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EPA Licence 1187

2. The Licensee must ensure that no waste, as listed in Part B of Schedule 1 of the Act, at levels greater than that prescribed for Clean Fill, is received at the depot.
3. The Licensee must ensure that contaminants contained in the waste material, including plastics, wood and metal, are separated and removed for off-site treatment or disposal at a depot licensed by the Authority to treat or dispose of that waste.
4. The Licensee must ensure that the depot is operated and maintained in a manner that does not result in:
 - 4.1 environmental nuisance;
 - 4.2 a risk to health or safety; or
 - 4.3 environmental harm of any kind other than environmental nuisance.
5. At all times whilst the depot is open, the Licensee must ensure that at least one person is present at the depot who is responsible for the control and operation of the depot and whose duties include, but are not limited to:
 - 5.1 controlling the reception, storage, treatment and removal of materials;
 - 5.2 controlling all employees working in the depot; and
 - 5.3 supervising all persons entering the depot.
6. The Licensee must take such measures as are reasonably necessary to prevent or control:
 - 6.1 the generation of dust, mud or offensive odours from operations within the depot; and
 - 6.2 the presence of pests within the quarry.
7. The Licensee must ensure that all waste material, whether unprocessed or processed, is stockpiled within the depot.
8. The Licensee must ensure that there are no more than six stockpiles of unprocessed waste concrete material at any one time within the quarry which must, in any event, not exceed 100,000 tonnes.
9. The Licensee must ensure that there are no more than two stockpiles of unprocessed waste asphalt material at any one time within the quarry which must, in any event, not exceed 20,000 tonnes.
10. The Licensee must notify the Authority in writing of the location of all proposed stockpile sites of unprocessed material.
11. The Licensee must ensure that proposed stockpile sites which are not acceptable to the Authority, provided such objection is received within five working days from the date of notification, are not used to stockpile unprocessed waste material.



EPA Licence 1187

12. The Licensee must keep accurate records of the following matters:
 - 12.1 the amount (weight) of unprocessed waste material received at the depot;
 - 12.2 the nature of the waste material;
 - 12.3 the amount of waste material processed;
 - 12.4 the date of processing; and
 - 12.5 the amount of final product.
13. The Licensee must ensure that, in any financial year, at least 50% of all waste material received at the depot is reprocessed.
14. The Licensee must notify the Authority at least five working days before the commencement of reprocessing of waste concrete.
15. The Licensee must submit a report to the Authority within 28 days of the end of June and December in each year detailing the following matters:
 - 15.1 the amount of unprocessed material received at the depot during the preceding six months;
 - 15.2 the amount of waste material stored in stockpiles;
 - 15.3 the amount of processed material; and
 - 15.4 the amount of final product.
6. (400-201) The Authority may during the term of this licence impose or vary conditions:
 1. in relation to testing, monitoring and reporting referred to in section 52(1)(a) of the Act;
 2. which require the Licensee, in accordance with section 53 of the Act, to prepare a plan of action to be taken in the event of an emergency;
 3. which require the Licensee to develop an EIP as set out in section 54 of the Act and to comply with the requirements of the EIP;
 4. which relate to provision of information relating to the Licensee or any agent or contractor undertaking any activity on behalf of the Licensee pursuant to this licence; and
 5. which relate to provision of information relating to the activity subject to the licence including the levels of inputs and outputs and the amounts of pollutants or waste generated by the activity.



EPA Licence 1187

7. (400-215) The Licensee must ensure that every employee, agent or contractor responsible for carrying out any task controlled by this licence is properly advised as to the requirements of this licence and the general environmental duty under section 25 of the Act that relate to that person's tasks and responsibilities as employee, agent or contractor.
8. (400-78) The Licensee must:
1. Pay the annual authorisation fee by the authorisation fee payment date.
 2. If this licence is for a term of 2 years or more, submit an annual return at least 90 days before the authorisation fee payment date.
9. (400-79) An application for renewal of this licence must be made at least 90 days before the expiry date of this licence.
10. (34-37) MINIMISING DUST EMISSIONS
- The Licensee must:
1. take all reasonable and practicable measures to minimise dust generation during the handling and storage of sand and aggregate; and
 2. not store material in bunkers above the level of the partitions.
11. (330-182) POLLUTION CONTROL EQUIPMENT REGISTER
1. The Licensee must maintain a register for each inspection of pollution control equipment that sets out:
 - 1.1. the date of the inspection;
 - 1.2. the equipment that was inspected;
 - 1.3. whether the equipment was working effectively;
 - 1.4. whether there was any equipment fault or failure;
 - 1.5. any immediate action taken in response to that fault or failure;
 - 1.6. any planned action to be taken in response to that fault or failure;

Licence Coordinator: Imogen Edmunds (08) 8204 9846

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EPA Licence 1187

- 1.7. the date and nature of any subsequent repairs, modification or replacement of the equipment; and
- 1.8. the name of the recording officer.
2. The Licensee must retain the register for the duration of this licence.

12. (34-39) The licensee must only wash trucks at the Premises within a wastewater collection system.

13. (400-347) CHANGE to PROCESS EMISSIONS or WASTE

The Licensee must not undertake any changes to operating processes at the Premises that:

1. has the potential to increase the emissions, or alter the nature, of pollutants or waste currently generated by or from the activity; or
 2. has the potential to increase the risk of environmental harm; or
 3. would relocate the point of discharge of pollution or waste at the Premises
- unless the Licensee has:
- 3.1. made application to the Authority to enable an assessment of the likely environmental impacts of the proposed change; and
 - 3.2. received written approval from the Authority enabling the proposed change to proceed.

Note: The Authority may during the term of this licence impose or vary the conditions of this authorisation upon approval of an application made in accordance with this condition.

14. (400-338) If the Licensee's name or postal address (or both) changes, then the Licensee must inform the Authority within 28 days of the change occurring.

15. (400-339) The Licensee must display a copy of this licence on a notice board at the Premises.

16. (400-348) ALTERATIONS to PLANT and EQUIPMENT

Licence Coordinator: Imogen Edmunds (08) 6204 9945

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EPA Licence 1187

The Licensee must not construct or alter a building or structure, or install or alter any plant or equipment that:

1. has the potential to increase the emissions or alter the nature, of pollutants or waste currently generated by or from the activity; or
2. has the potential to increase the risk of environmental harm; or
3. would relocate the point of discharge of pollutants or waste at the Premises.

unless the Licensee has:

- 3.1 made application to the Authority to enable an assessment of the likely environmental impacts of the proposed changes; and
- 3.2 paid the application fee; and
- 3.3 received written approval from the Authority allowing the proposed changes to proceed.

Note: The Authority may during the term of this Licence impose or vary the conditions of this authorisation upon approval of an application made in accordance with this condition.

17. 132-134 The Authority may vary or impose a condition of this licence within 90 days of every second anniversary of the date of this licence.

18. 132-164 The Authority may impose or vary a condition of this licence at any time during the term of the licence where the Authority is satisfied that the Licensee is in breach of the general environmental duty to take all practicable and practicable measures to prevent or minimise resulting environmental harm.

Deputy:

Environment Protection Authority

Date 31. 10 - 2006

There are 6 Attachments to this Licence

Licence Coordinator: Imogen Edmunds (08) 8204 9848

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RECEIVED 28-9-06

NOTICE OF VARIATION OF LICENCE CONDITION

Pursuant to section 46(1) of the Environment Protection Act, 1993

To: Boral Resources (SA) Limited
1 Station Place
HINDMARSH SA 5007

Re: EPA Licence No: 1187

Notice is hereby given that I propose to amend the above licence at renewal.

The Authority proposes to add the following condition/s:

34-37

MINIMISING DUST EMISSIONS

The Licensee must:

1. Take all reasonable and practicable measures to minimise dust generation during the handling and storage of sand and aggregate.
2. Not store material in bunkers above the level of the partitions.

330-162

*** POLLUTION CONTROL EQUIPMENT REGISTER**

1. The Licensee must maintain a register for each inspection of pollution control equipment that sets out:

- 1.1. the date of the inspection;
- 1.2. the equipment that was inspected;
- 1.3. whether the equipment was working effectively;
- 1.4. whether there was any equipment fault or failure;
- 1.5. any immediate action taken in response to that fault or failure;
- 1.6. any planned action to be taken in response to that fault or failure;
- 1.7. the date and nature of any subsequent repairs, modification or replacement of the equipment; and
- 1.8. the name of the recording officer.

2. The Licensee must retain the register for the duration of this licence.

34-39

TRUCK CLEANING

The licensee must only wash trucks at the Premises within a wastewater collection system.

400-347

CHANGE to PROCESS EMISSIONS or WASTE

The Licensee must not undertake any changes to operating processes at the Premises that:

1. has the potential to increase the emissions, or alter the nature, of pollutants or waste currently generated by or from the activity; or
2. has the potential to increase the risk of environmental harm; or
3. would relocate the point of discharge of pollution or waste at the Premises

unless the Licensee has:



- 3.1. made application to the Authority to enable an assessment of the likely environmental impacts of the proposed change; and
- 3.2. received written approval from the Authority enabling the proposed change to proceed.

Note: The Authority may during the term of this licence impose or vary the conditions of this authorisation upon approval of an application made in accordance with this condition.

400-348

ALTERATIONS to PLANT and EQUIPMENT

The Licensee must not construct or alter a building or structure, or, install or alter any plant or equipment that:

- 1. has the potential to increase the emissions, or alter the nature, of pollutants or waste currently generated by or from the activity, or
- 2. has the potential to increase the risk of environmental harm, or
- 3. would relocate the point of discharge of pollution or waste at the Premises

unless the Licensee has:

- 3.1. made application to the Authority to enable an assessment of the likely environmental impacts of the proposed changes, and
- 3.2. paid the application fee, and
- 3.3. received written approval from the Authority allowing the proposed changes to proceed.

Note: The Authority may during the term of this licence impose or vary the conditions of this authorisation upon approval of an application made in accordance with this condition.

400-338

If the Licensee's name or postal address (or both) changes, then the Licensee must inform the Authority within 28 days of the change occurring.

400-339

The Licensee must display a copy of this licence on a notice board at the Premises.

320-49

The Authority may impose or vary a condition of this licence at any time during the term of the licence where the Authority is satisfied that the Licensee is in breach of the general environmental duty to take all reasonable and practicable measures to prevent or minimise resulting environmental harm.

320-19

The Authority may vary or impose a condition of licence within 90 days of every second anniversary of the date of this licence.

The Authority has resolved to include a requirement to comply with the general environmental duty, and as such, condition 320-49 will be added to your licence.

The Authority has resolved to renew all licences for a period of 5 years and in doing so review such licenses at regular intervals, therefore condition 320-19 will be added to your licence.



Appendix 10

Sequence of Operation

Plan – 1 EXISTING DEVELOPMENT – May 2007

Plan – 2 PROPOSED DEVELOPMENT TO – 2011

Plan – 3 PROPOSED DEVELOPMENT TO – 2017

Plan – 4 PROPOSED DEVELOPMENT TO – 2037

Plan – 5 TYPICAL CROSS – SECTION

Plan – 6 POSSIBLE FUTURE DEVELOPABLE RESERVES



The Authority proposes to remove the following condition/s: 400-211, 400-212

The reason for this variation is:

The Authority has undertaken a review of licence conditions to ensure that they:

- Are clear and easy to understand,
- Will enhance environmental protection,
- Are in accordance with best practice standards, and
- Are consistent and complete.

The changes to your licence conditions reflect the outcome of this review.

You are invited to make submissions to me in relation to the variation/s proposed in this notice by 13 October 2006

Dated this 26th day of September 2006.

Brian Roderick
DELEGATE OF THE ENVIRONMENT PROTECTION AUTHORITY

Please address any submissions to:

Imogen Edmunds
Environment Protection Authority
GPO Box 2607
Adelaide SA 5001